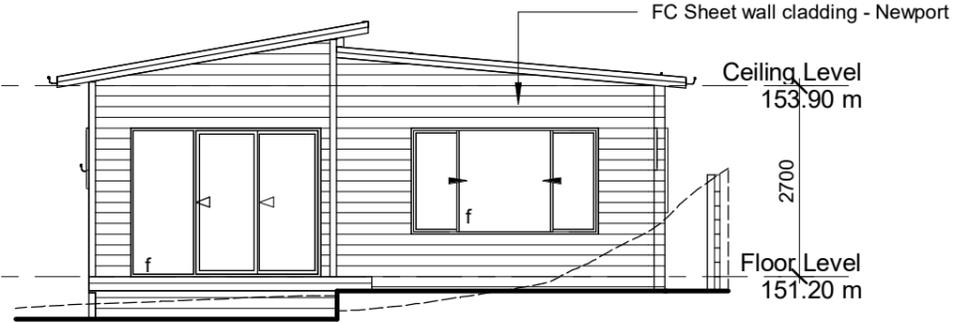


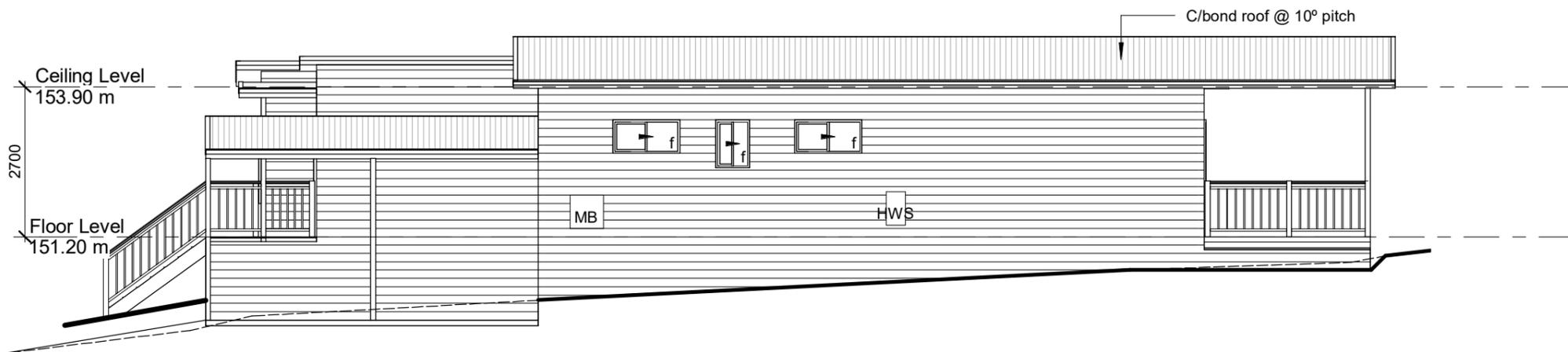
South Elevation

1 : 100



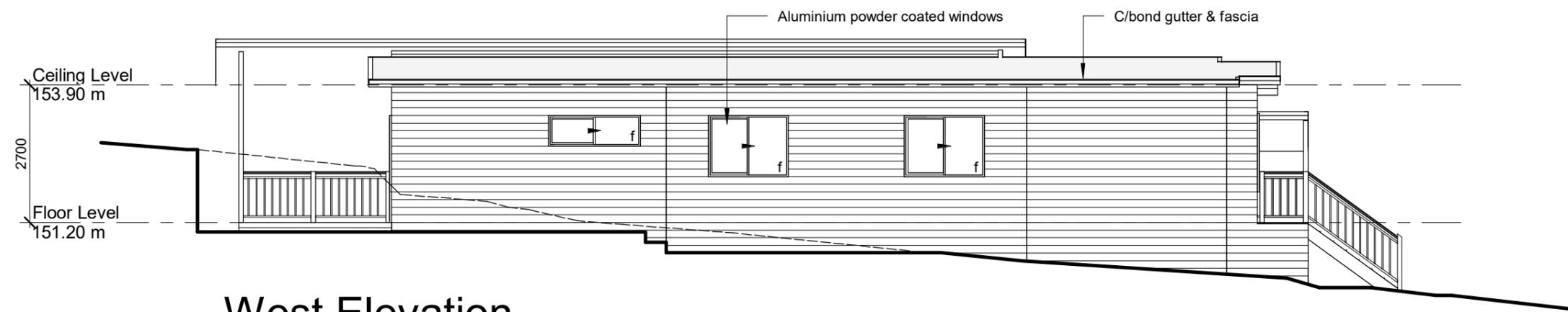
North Elevation

1 : 100



East Elevation

1 : 100



West Elevation

1 : 100



Scale 1:100

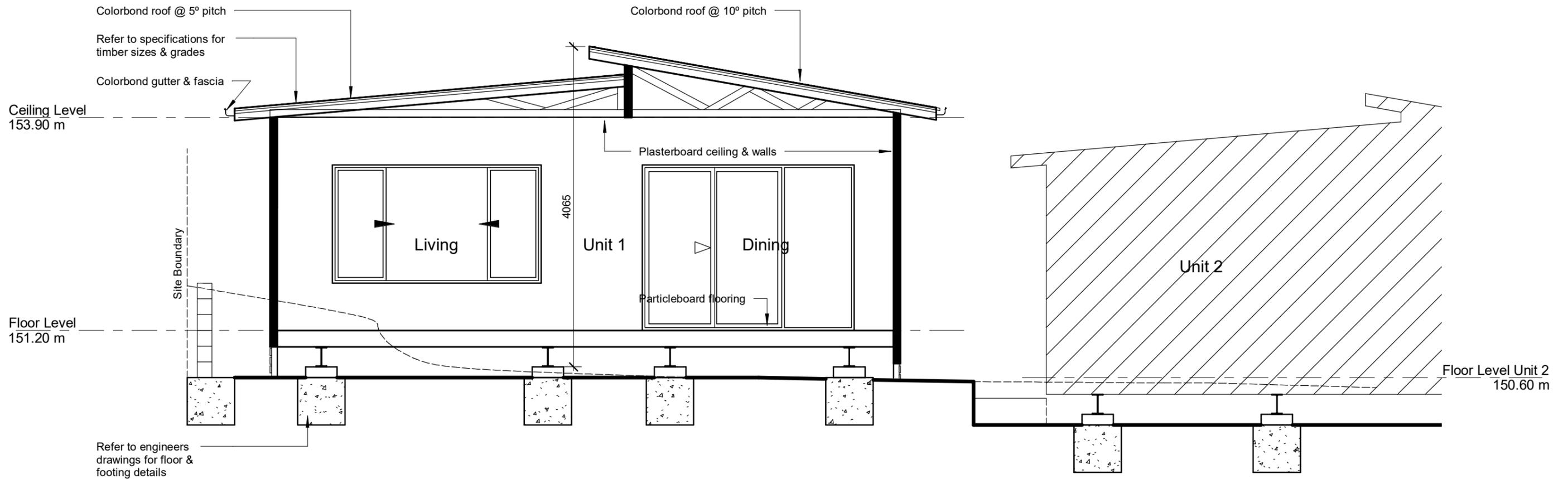
project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

client
Aboriginal Housing Office
 drawing title
Elevations - Unit 1

drawing number
A02
 scale
1 : 100 @ A3
 date
20 Mar 21
 drawn
Author
 amendment

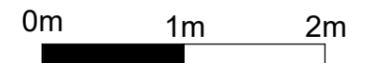
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Section 1

1 : 50



Scale 1:50

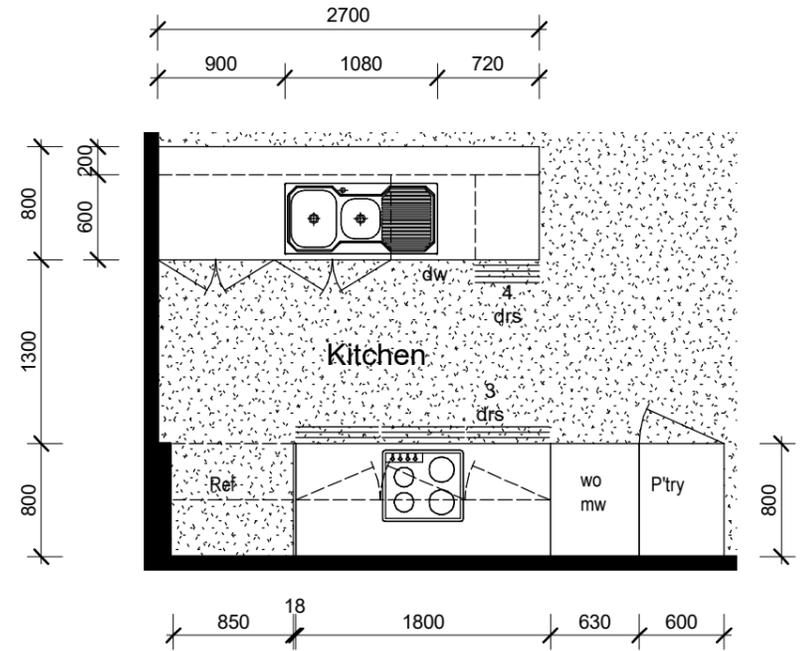
project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

client
Aboriginal Housing Office
 drawing title
Section - Unit 1

drawing number
A03
 scale
1 : 50 @ A3
 date
20 Mar 21
 drawn
Author
 amendment

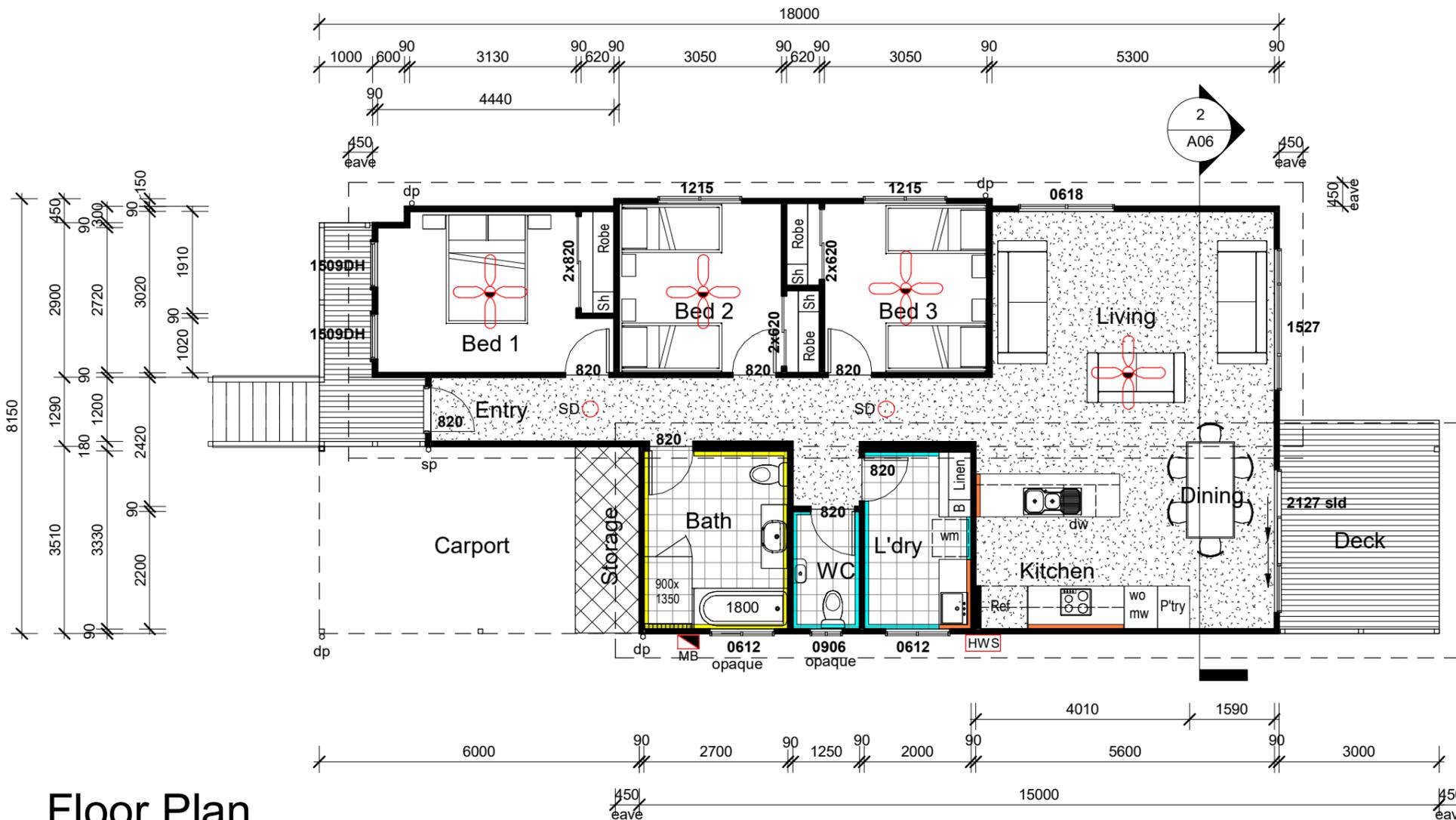
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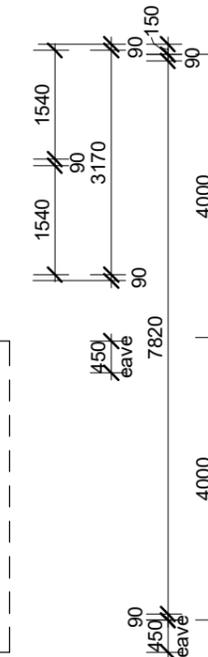
Kitchen Plan

1 : 50



Floor Plan

1 : 100



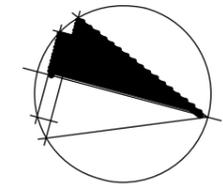
Tile Heights

- 600h Splashback
- 1500h
- Ceiling Height



Scale 1:100

○ SD Smoke Alarms to be installed in accordance with AS 3786 under the provisions of Div 7A of Part 9 Environmental Planning and Assessment Regulation 2000



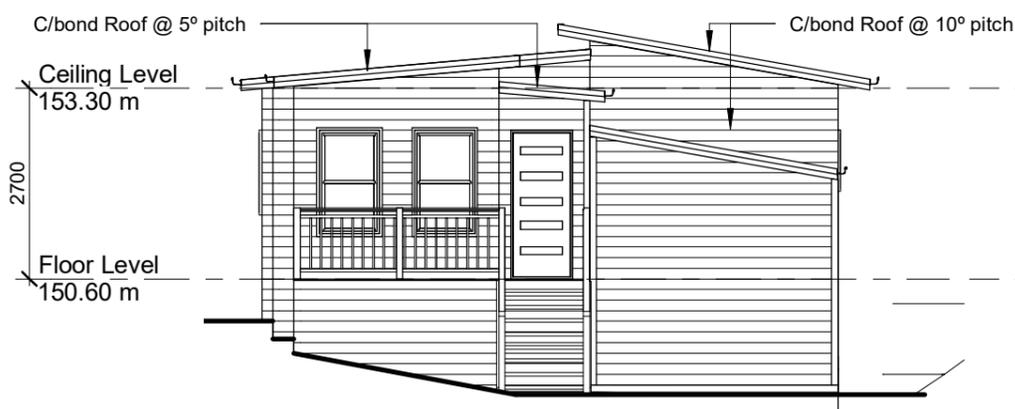
project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

client
Aboriginal Housing Office
 drawing title
Floor Plan - Unit 2

drawing number
A04
 scale
As indicated
 date
20 Mar 21
 drawn
@ A3 Author
 amendment

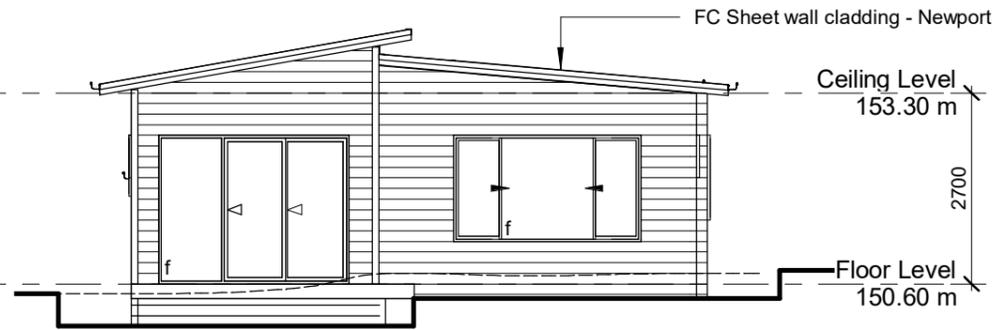
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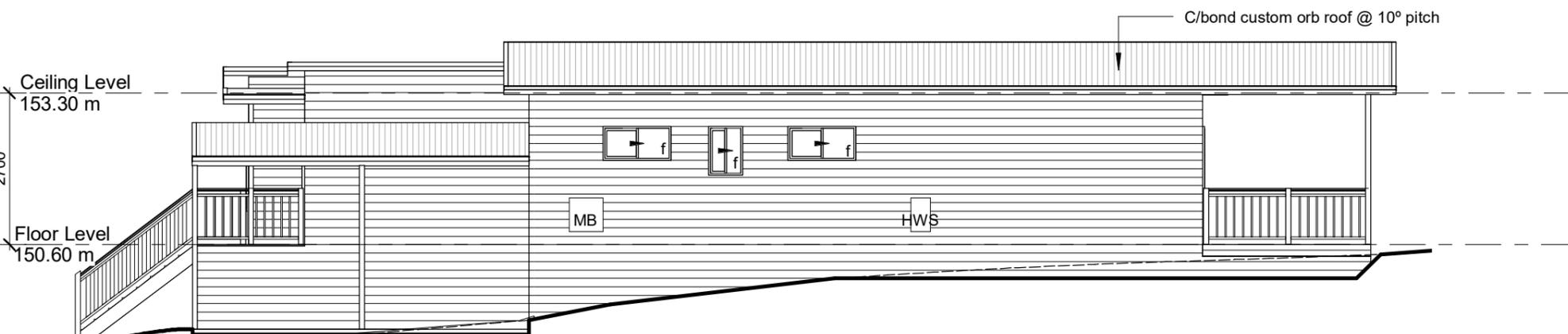
South Elevation

1 : 100



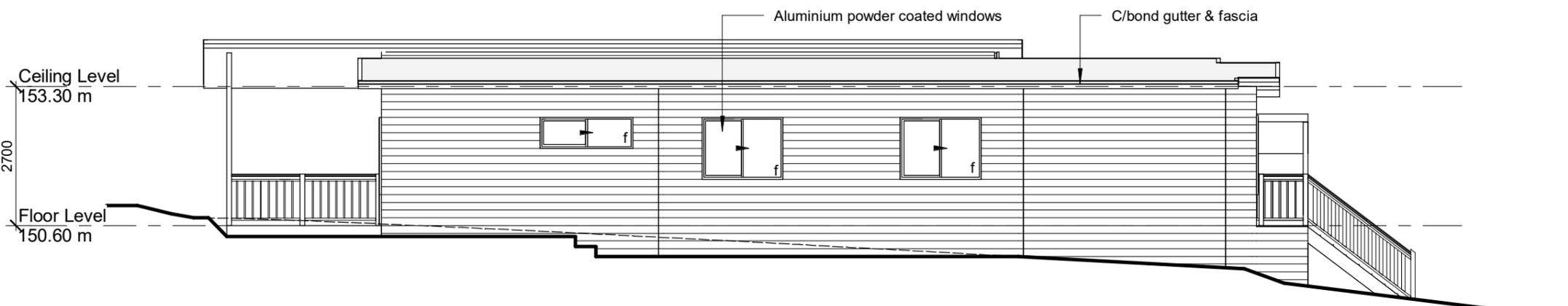
North Elevation

1 : 100



East Elevation

1 : 100



West Elevation

1 : 100



Scale 1:100

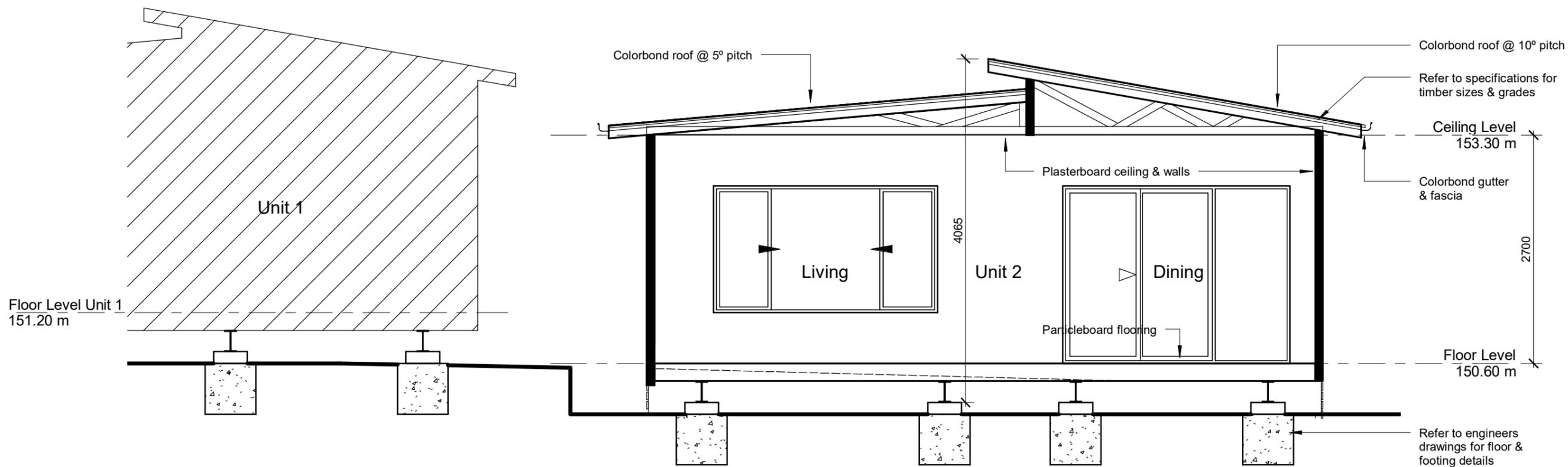
project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

client
Aboriginal Housing Office
 drawing title
Elevations - Unit 2

drawing number A05	date 20 Mar 21	amendment
scale 1 : 100 @ A3	drawn Author	

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Section 2

1 : 50



Scale 1:50

project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

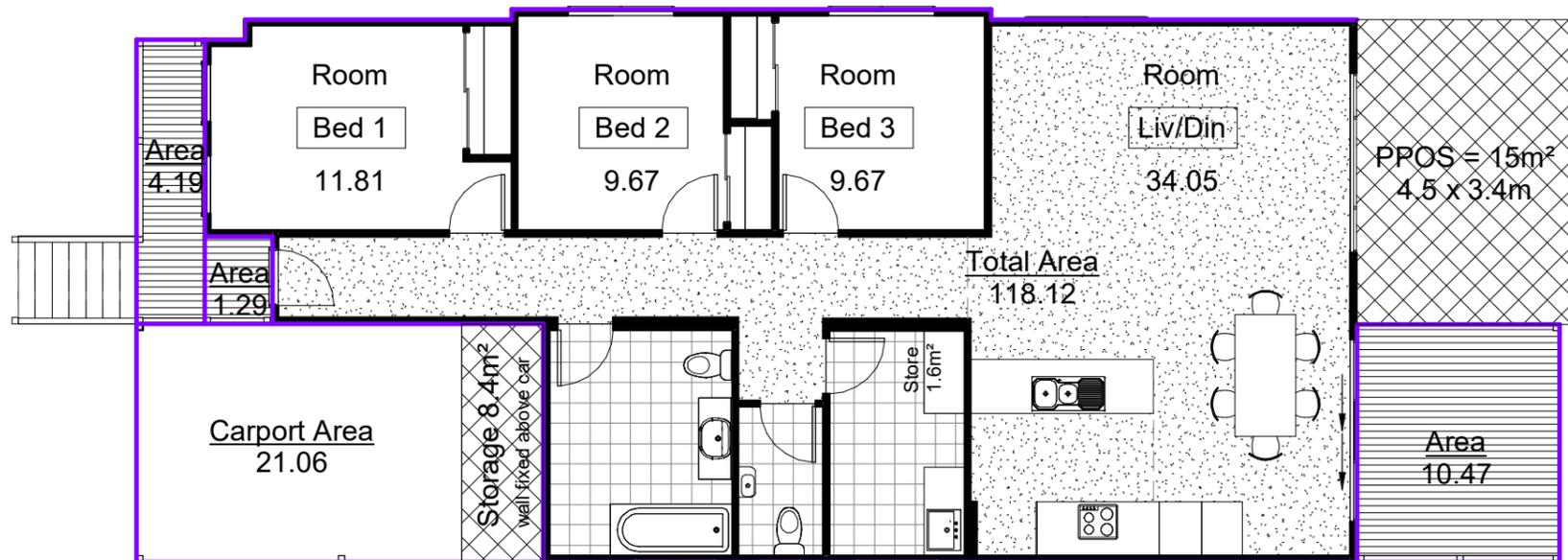
client
Aboriginal Housing Office
 drawing title
Section 2 - Unit 2

drawing number
A06
 scale
1 : 50 @ A3
 date
20 Mar 21
 drawn
Author
 amendment

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Parkwood Modular Buildings - 7-11 Kangoo Road Somersby, NSW 2250 - Ph: 02 4340 4077 - Fax: 02 4340 4088 - www.parkwood.com.au





Griffith Residential Development Control Plan 5.5 Dual Occupancies

Controls

(a) Section 3 and 4. Complies

Access and Parking

- (b) Each dwelling has access to one undercover park. Complies
- (c) Internal driveway width minimum 3.5m. Complies
- (d) Shared access must be prioritised. Location of existing trees and crossover and other site constraints such as lot size and slope prevents any other complying solution to this. Exemption required.
- (e) Driveways - NA

Streetscape Controls

- (f) Corner Lots - NA
- (g) Minimum separation between detached dual occupancies must be 1.8m. Complies
- (h) Garages - NA
- (i) Garages - NA

Design Criteria

- (j) Minimum Internal floor area: 3+ bed - 90m². Complies
- (k) Bedrooms a minimum of 8m² excluding robes. Complies
- (l) Combined Living and Dining minimum area 3+ bed - 28m². Complies
- (m) Additional Storage, minimum dimension of 500mm. 3 bed 10m². Complies

Principal Private Open Space (PPOS)

- (n) PPOS in accordance with Section 4.1.
 - (a) Min width 3.0m, accessible from a communal living area, receive direct sunlight for 3 hours between 9am and 5pm on the 22nd June. Complies
 - (b) PPOS should generally be in locations where boundary setbacks are 4.0m or greater. Complies
 - (c) PPOS Exclusions. Complies
- (o) Balcony - NA

Landscaping

- (p) and (q) refer to landscaping prepared by.....

project title

Proposed Dual Occupancy

project address

46 Lawford Cres,
GRIFFITH

client

Aboriginal Housing Office

drawing title

DCP Compliance

drawing number

A07

scale

1 : 100 @ A3

date

20 Mar 21

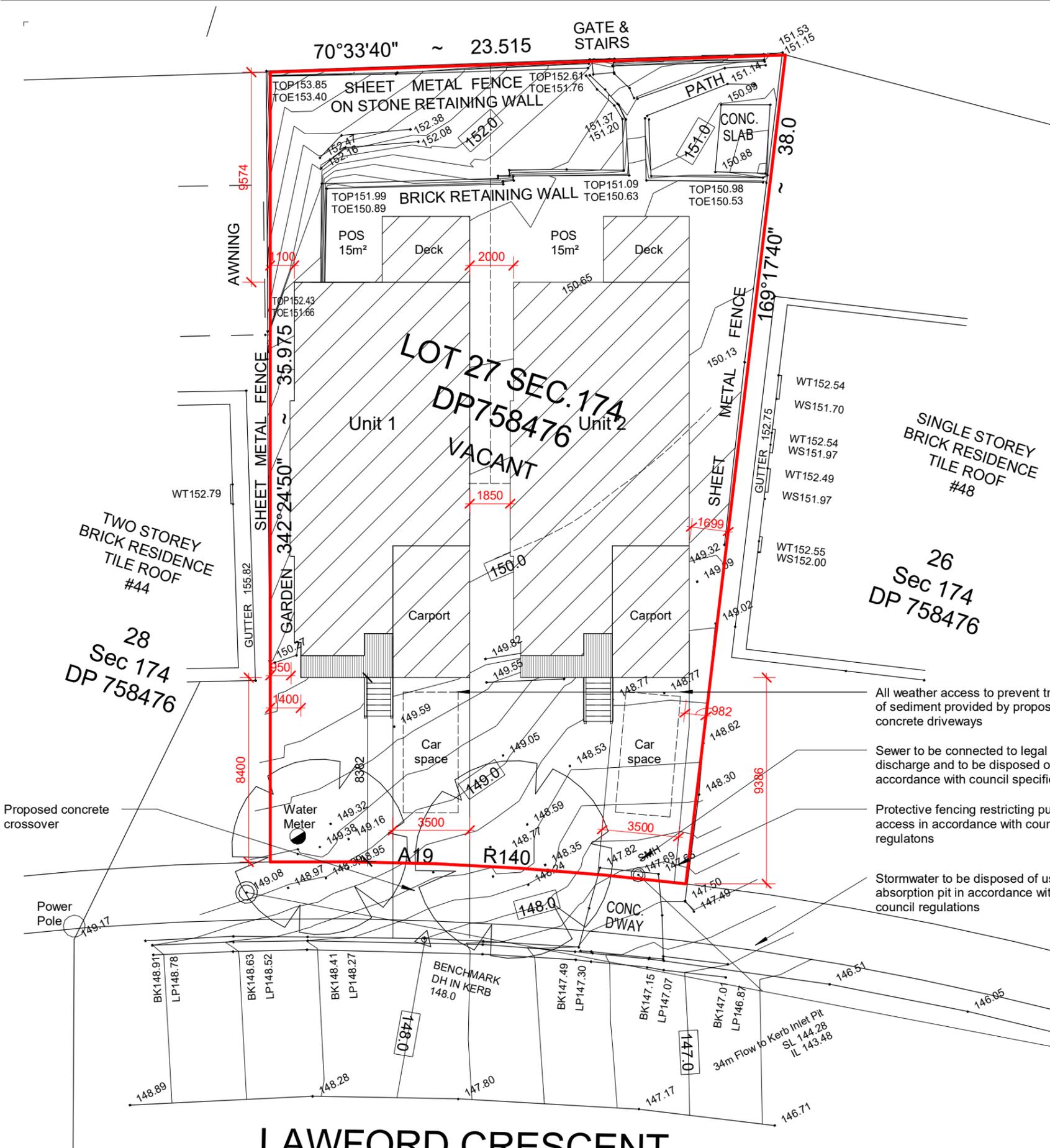
drawn

Author

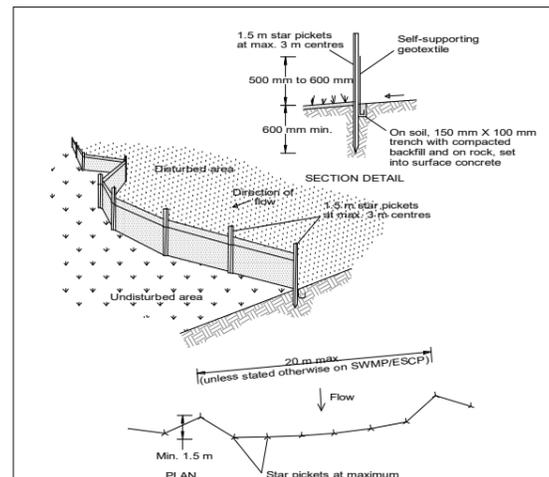
amendment

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SEDIMENT FENCE:



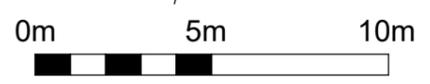
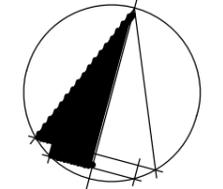
- Construction Notes**
1. Construct sediment fence as close as possible to parallel to the contours of the site.
 2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
 3. Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 4. Backfill trench over base of fabric.
 5. Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
 6. Join sections of fabric at a support post with a 150 mm overlap.

GENERAL NOTES:

Figured dimensions to be taken in preference to scaling from drawings
 Dimensions are in millimetres. R.L.'s are in metres to A.H.D.
 All dimensions shall be checked by the building designer prior to the commencement of works
 All discrepancies shall be referred to the building designer for decision before proceeding with the work
 All workmanship shall be in accordance with the requirements of the SAA codes & by-laws & ordinances of the relevant building authority
 All timber framing sizes & spans to be in accordance with the SAA timber framing code AS 1684
 All bracing of roof & wall framing to satisfy wind speed design category in accordance with BCA & AS4055 to engineers details
 All reinforced concrete shall be in accordance with engineers details
 Builder /developer to maintain erosion control in accordance with the clean waters act
 During construction the building shall be maintained in a stable condition & no part shall be overstressed
 Termite treatments in accordance with AS3660 & AS 3660 part 1
 Builder to verify location of all services & vegetation prior to commencement of works
 All opening sizes to be confirmed on site prior to ordering of windows & doors
 These drawings shall be read in conjunction with all structural & other consultants drawings & specifications and with such other written instruction as may be issued during the course of the contract

AREAS:

Site Area	771m ²
Unit 1	
Floor Area	118.12m ²
Covered Deck Area	10.47m ²
Porch	1.29m ²
Uncovered Deck	4.19m ²
Carport Area	21.06m ²
Unit 2	
Floor Area	118.12m ²
Covered Deck Area	10.47m ²
Porch	1.29m ²
Uncovered Deck	4.19m ²
Carport Area	21.06m ²
Floor Space Ratio	236.24m ² 30.60%
Open Space	460.74m ² 59.76%



Scale 1:200

LAWFORD CRESCENT

project title
Proposed Dual Occupancy
 project address
**46 Lawford Cres,
 GRIFFITH**

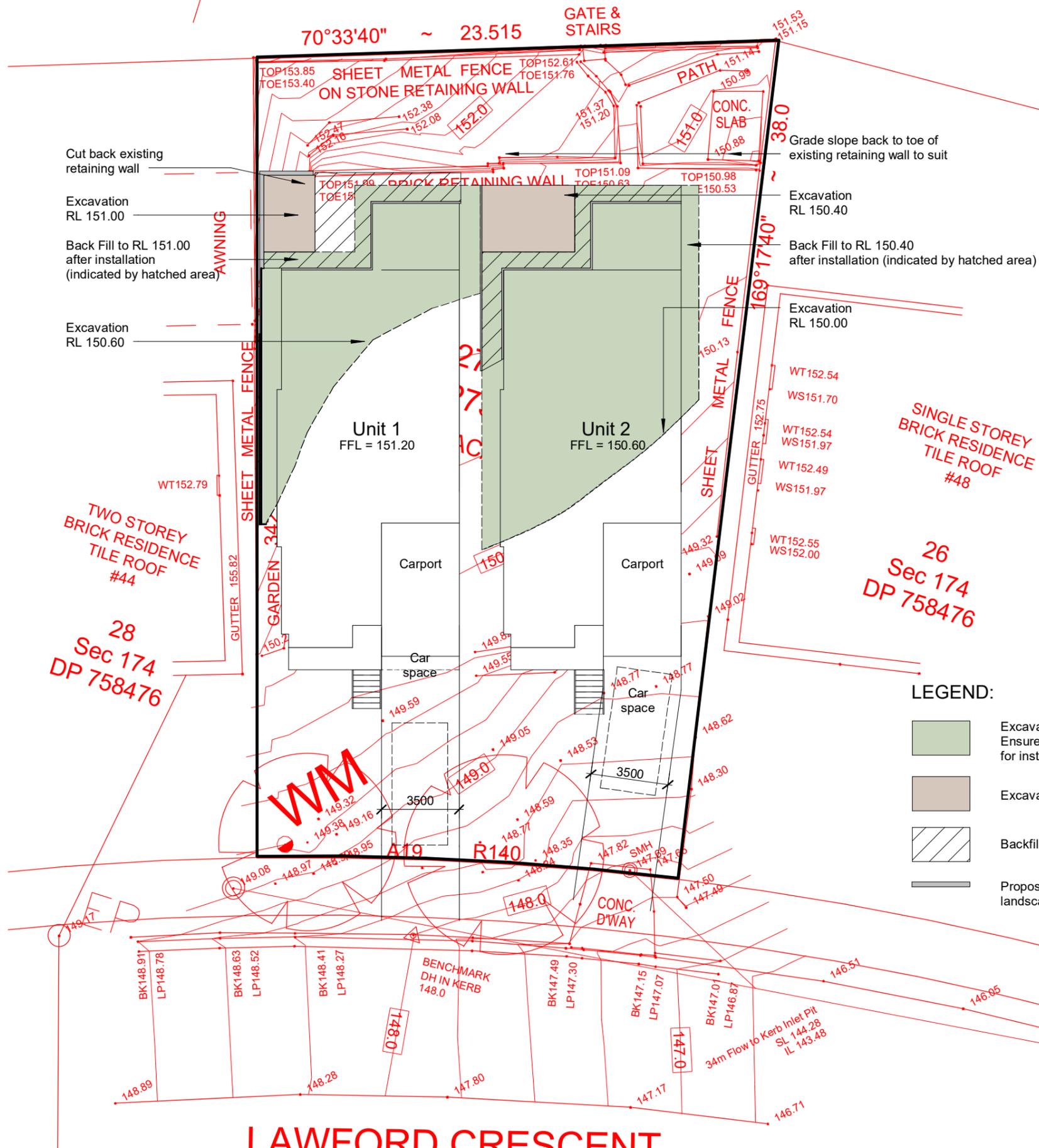
client
Aboriginal Housing Office
 drawing title
Site Plan

drawing number
A08
 scale
1 : 200 @ A3
 date
20 Mar 21
 drawn
Author

amendment

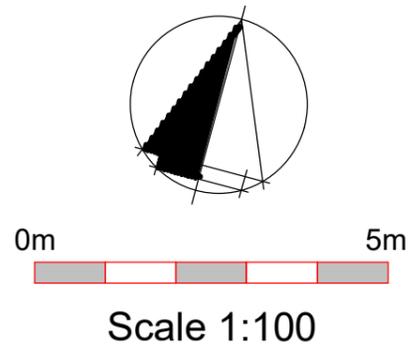
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**CONCEPT ONLY
NOT FOR CONSTRUCTION**

- LEGEND:**
- Excavate 600mm below floor level. Ensure sufficient distance around building for installation and removal of axles
 - Excavate 200mm below floor level
 - Backfill to 200mm below floor level
 - Proposed Retaining wall. Refer to landscape plan for details



LAWFORD CRESCENT

project title
Proposed Dual Occupancy
project address
**46 Lawford Cres,
GRIFFITH**

client
Aboriginal Housing Office
drawing title
Excavation Layout

drawing number
A09
scale
1 : 200 @ A3
date
20 Mar 21
drawn
Author

amendment

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